

Heading:

Ref No 17/2012/0205  
Ysgol Dyffryn Ial  
Llandegla

Graham Boase  
Head of Planning & Public Protection  
Denbighshire County Council  
Caledfryn  
Smithfield Road  
Denbigh  
Denbighshire LL16 3RJ

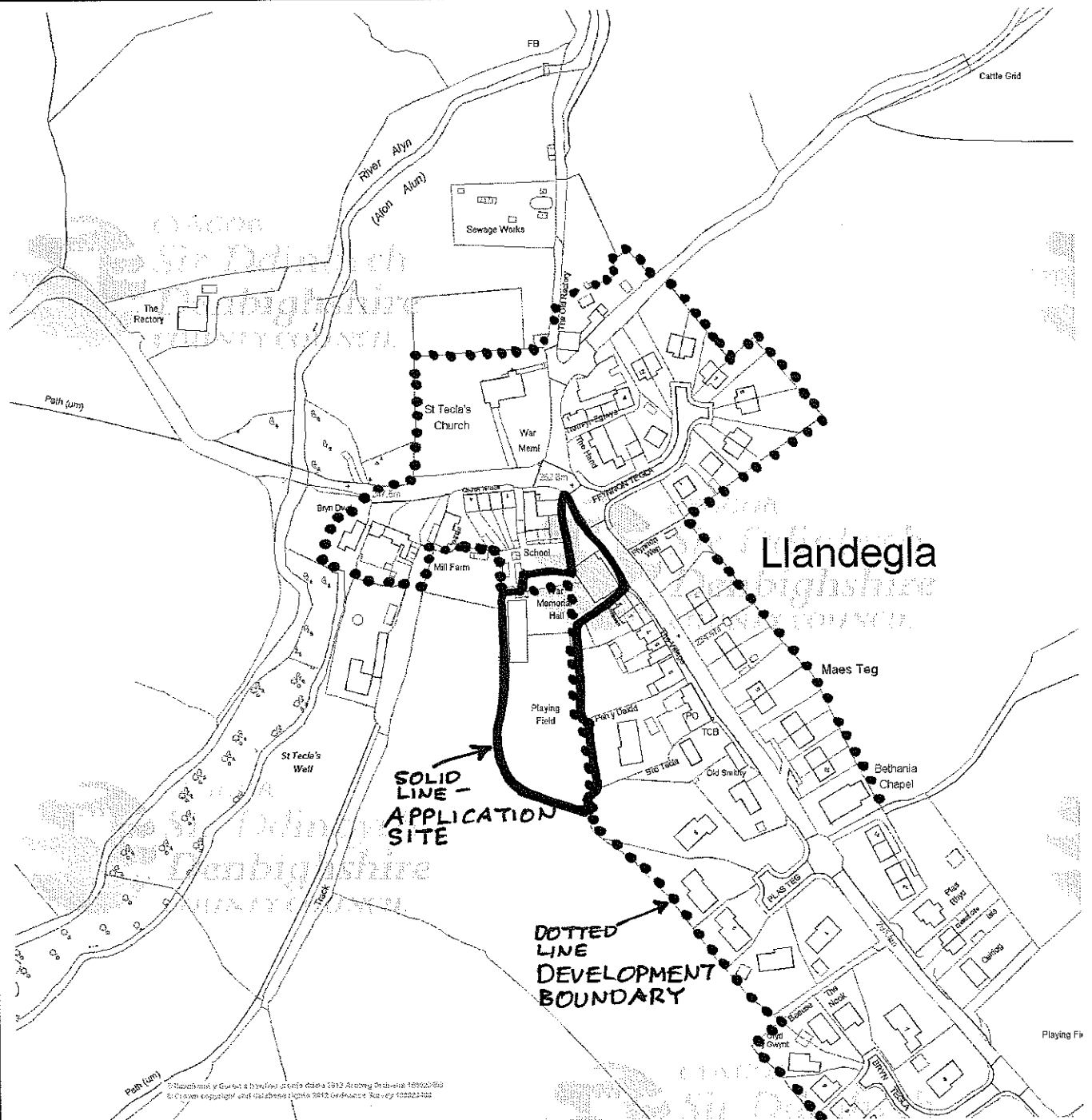
 Application Site



Date 3/4/2012 Scale 1/2500  
Centre = 319613 E 352361 N

This plan is intended solely to give an indication of the LOCATION of the application site which forms the subject of the accompanying report. It does not form any part of the application documents, and should not be taken as representative of the proposals to be considered, which are available for inspection prior to the meeting.

Tel: 01824 706800 Fax: 01824 706709



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Algynhyrchir y map hwn o ddeunydd yr Ordnance Survey gyda chaniatâd yr Ordnance Survey ar ran Rheolwr Llyfrfa Eî Mawrhydi © Hawffrânt y Goron. Mae algynhyrchu heb ganiatâd yn fôr hawffrânt y Goron a gall hyn arwain at erlyniad neu achos sifil. Cyngor Sir Ddinbych. 100023408. 2011.

# SITE PLAN

**NOTES**

DO NOT SCALE OFF DRAWING

**Schedule of Materials**

Hard Paving:  
Concrete Flags



Hard Paving:  
New Tarmacadam



Hard Paving:  
Existing Tarmacadam



Soft Landscaping:  
Grass



Soft Play



Existing buildings



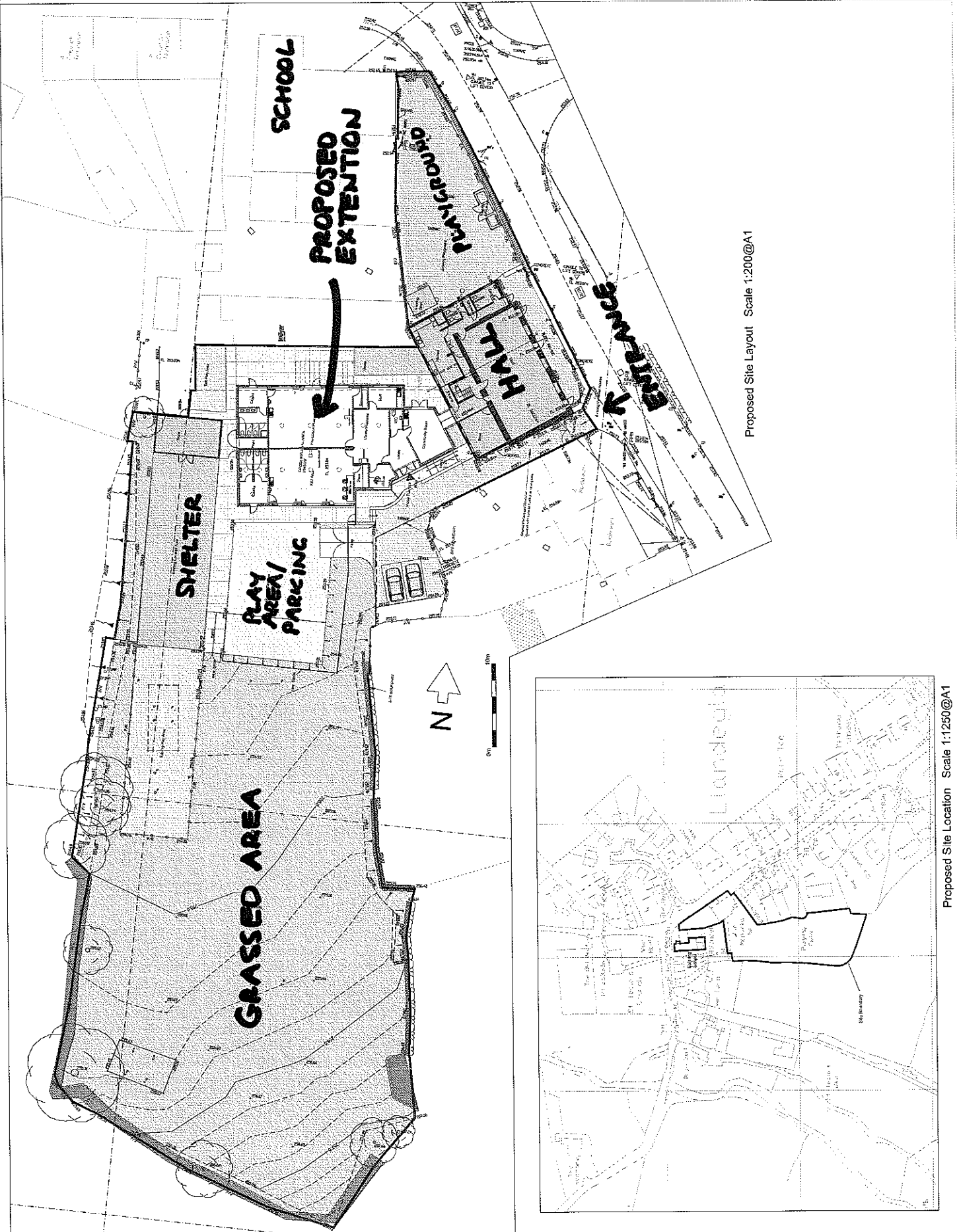
Prop No	Date	Amendment	Issue
a	9.2.18	planning issue	



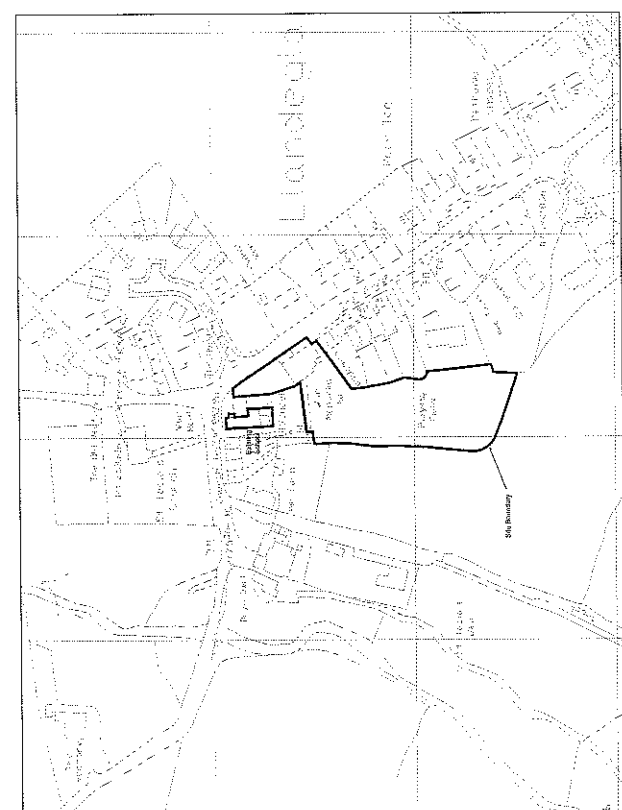
Client: Ysgol Dyffryn Ial /  
Llandegla Memorial  
Hall  
Project Number: PL\_10\_113

Drawn by: D	Checked by: mte	Scale: @A1
Date: Dec 2011	Site Plan as Proposed & Location	

Project Name: P01	Sheet: a
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Proposed Site Layout Scale 1:200@A1



Proposed Site Location Scale 1:1250@A1


**NOTES**

DO NOT SCALE OFF DRAWING

**Schedule of Materials**

- Pitched Roofs:  
Colour coated profiled sheet
- Flat Roofs:  
Mineral faced felt
- Walls:  
Coloured Render
- Windows, Doors & Louvers:  
Colour coated metal framing
- Façades, Gutters & Rainwater Pipes:  
Colour coated metal

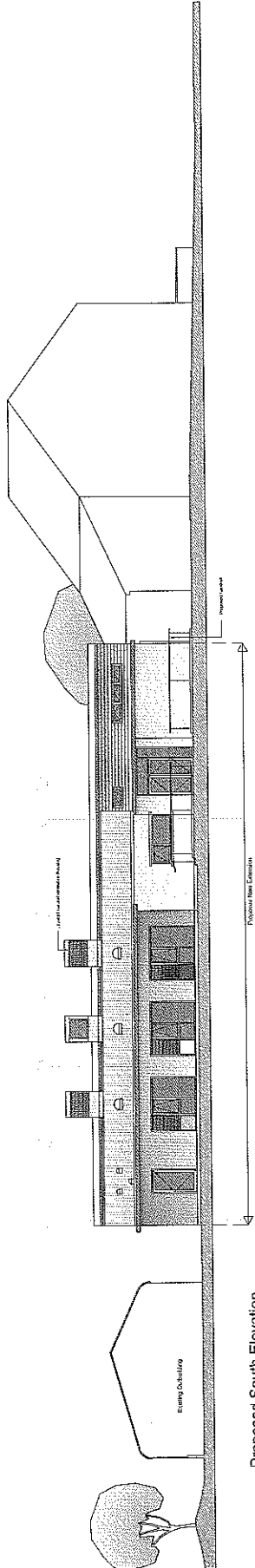
Rev	No.	Date	Description	By	Check
1	1	9.22.12	Planning Issue		


**Sir Dainbych Denbighshire COUNTY COUNCIL**  
 Building, Architecture, Planning & Construction

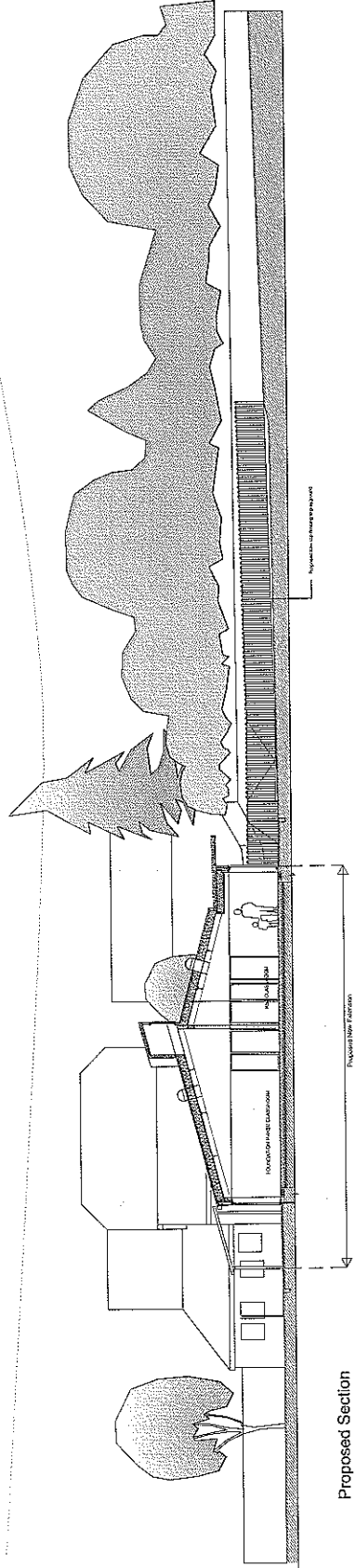
Project Name: **Ysgol Dyffryn Ial / Llandegla Memorial Hall**  
 Project Address: **P1\_10\_113**  
 Date: **Dec 2011**  
 Scale: **1:100@A1**

**Elevations & Sections as Proposed**

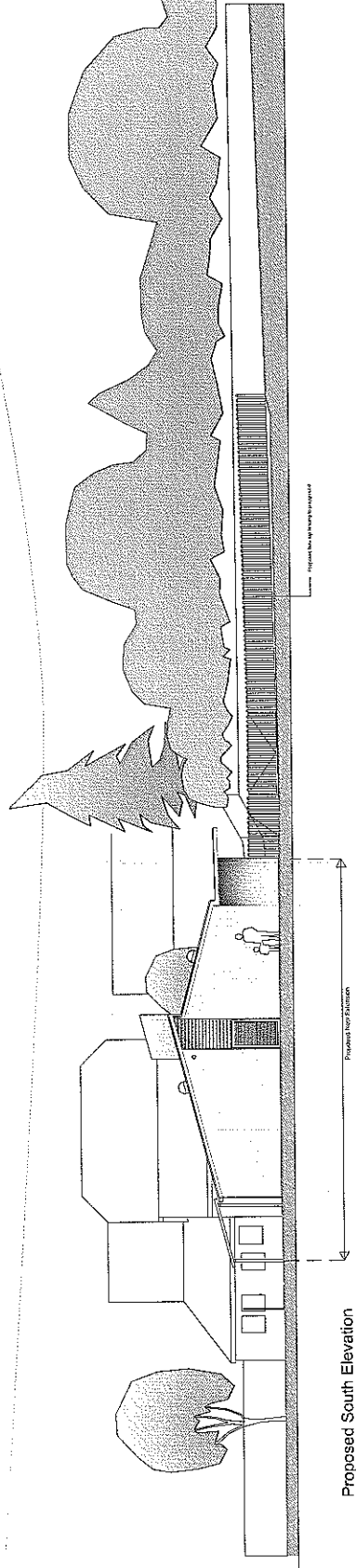
Drawing No: **P03**  
 Revision: **a**



Proposed South Elevation



Proposed Section



Proposed South Elevation

# ELEVATIONS

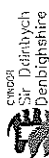
**NOTES**

DO NOT SCALE OFF DRAWING

**Schedule of Materials**

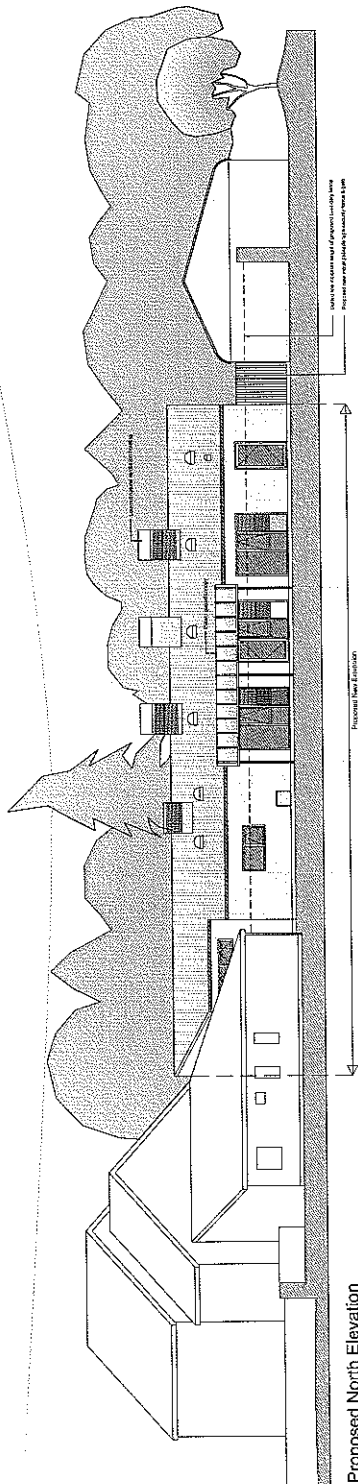
- Pitched Roofs: Colour coated profiled sheet
- Flat Roofs: Mineral faced felt
- Walls: Coloured Render
- Windows, Doors & Louvers: Colour coated metal framing
- Fascias, Gutters & Rainwater Pipes: Colour coated metal

Rev No.	01	Description	Issue
1	1	Issue	1
2	2	Issue	2
3	3	Issue	3
4	4	Issue	4
5	5	Issue	5

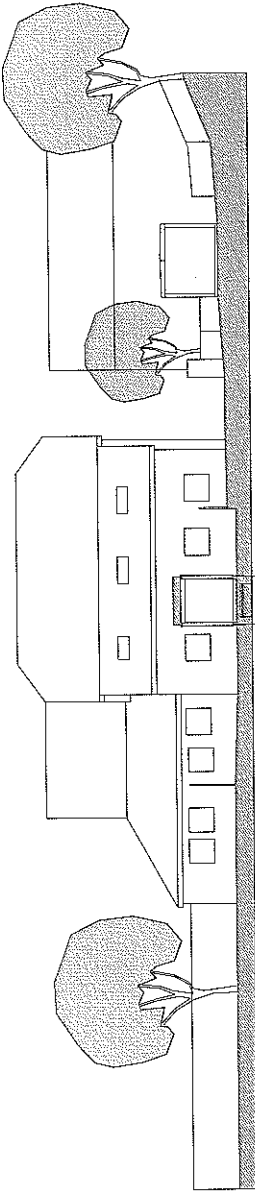

**CYMRU**  
 Sir Ddinbych  
 Denbighshire  
 COUNTY COUNCIL  
 Design and Architecture  
 Design & Construction

Project Name: **Ysgol Dyfryn Ial / Llandegla Memorial Hall**  
 Project Number: **PL\_10\_113**  
 Date: **Dec 2011**  
 Scale: **1:100@A1**  
 Drawing Title: **Elevation & Section as Proposed**

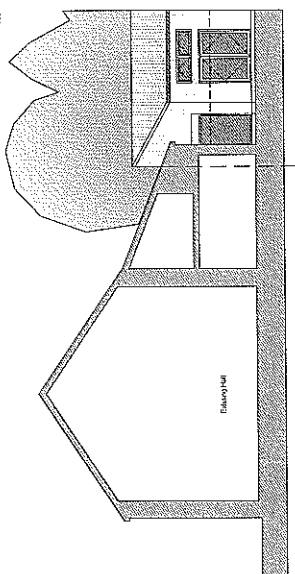
Rev No.	01	Description	Issue
1	1	Issue	1
2	2	Issue	2
3	3	Issue	3
4	4	Issue	4
5	5	Issue	5



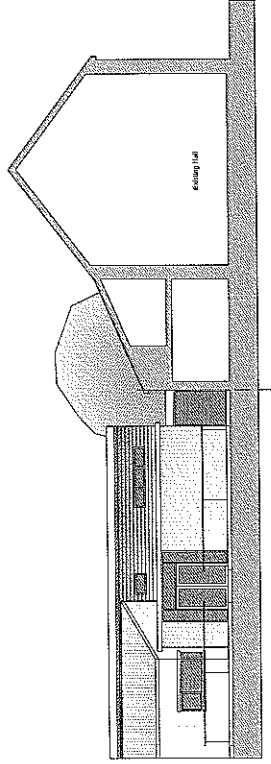
Proposed North Elevation



Proposed Section Through Link to Existing Building



Proposed Part North Elevation



Proposed True Elevation of New Entrance & Link

IXW

**ITEM NO:** 3  
**WARD NO:** Llanarmon Yn Ial / Llandegla  
**APPLICATION NO:** 17/2012/0205/ PF  
**PROPOSAL:** Erection of a single storey extension to provide two new classrooms, community room and formation of a new playground  
**LOCATION:** Llandegla Memorial Hall Llandegla Wrexham  
**APPLICANT:** Denbighshire County Council  
**CONSTRAINTS:** AONB  
**PUBLICITY UNDERTAKEN:** Site Notice - Yes  
Press Notice - No  
Neighbour letters - Yes

**REASON(S) APPLICATION REPORTED TO COMMITTEE:**  
**Scheme of Delegation Part 2**

- Referral by Head of Planning / Development Control Manager as part of the site is outside the development boundary of the village.

**CONSULTATION RESPONSES:**

**LLANDEGLA COMMUNITY COUNCIL**

"It has been resolved to offer no objection to the proposals but to make the following comments:

- a) There is no reference to the car park facility. Is vehicle parking for community use only outside term time?
- b) That any queries and complaints from residents regarding the school boundary with their properties are addressed by the County and any agreements made, honoured by the County Council".

**COUNTRYSIDE COUNCIL FOR WALES**

No objections subject to mitigation of impacts as set out in Habitat Report, and use of suitable external materials on the building.

**DWR CYMRU/WELSH WATER**

Standard response – request separate foul and surface water connections.

**DENBIGHSHIRE COUNTY COUNCIL CONSULTEES**

Head of Highways & Infrastructure

No objection subject to condition requiring parking and turning facilities within the site before bringing building into use.

Biodiversity Officer

No objection subject to controls over timing of works to limit impact on nesting birds and bats.

CLWYDIAN RANGE & DEE VALLEY AONB  
JOINT ADVISORY COMMITTEE

"The JAC welcomes appropriate investment to secure the future of important rural community facilities in the AONB such as schools and meeting halls. It is noted that the Memorial Hall is a locally Listed Building and the adjoining School and School House are Grade II Listed Buildings and, subject to the Conservation Officer being satisfied that the scheme complements their setting, the JAC supports the application. However, the JAC would recommend that the roof should be slate grey in colour and that the suburban timber fence erected along the northern boundary should be replaced by a traditionally finished natural local stone wall utilising materials from demolition of the existing boundary wall. In addition, it is suggested that new local stone walls should replace the boundary with the adjoining property Bodawen and the boundary between the existing playground and School House".

**RESPONSE TO PUBLICITY:**

Letters of representation received from:  
Ms. M. Thompson, 2, Church Terrace, Llandegla

Summary of planning based representations:

Residential amenity

Rear wall would be 14ft from boundary and run length of adjacent private garden/would overlook property and reduce privacy/noise and disturbance from soft play area.

Visual amenity

Inappropriate design for location.

**EXPIRY DATE OF APPLICATION: 04/04/2012**

**REASONS FOR DELAY IN DECISION (where applicable):**

- timing of receipt of representations

**PLANNING ASSESSMENT:**

**1. THE PROPOSAL:**

1.1 Summary of proposals

1.1.1 The application contains details of what is referred to as an extension to the existing Memorial Hall, to provide a combined community and primary school facility, with associated works/improvements to access, parking and play areas.

1.1.2 The main elements are:-

- erection of a single storey 'multi purpose' building with a floor area of 294sq. metres to the rear of the Memorial Hall. The building would contain a number of activity areas including a community room, library, foundation phase area, KS2 area, and associated cloakroom/toilet and staff areas. The main entrance would be from the accessway which runs alongside the gable end of the Hall and No. 2. Bodawen. The building would be of modern design with metal profile roofs and coloured rendered walls. The uses of the building would link with the Dyffryn Ial School which is located immediately to the north, and with the village Memorial Hall to the east;
- the reorganisation/upgrading of the open areas at the rear of the Hall and School, to provide a hard surfaced play area (capable of use as

a car park when necessary), a covered external teaching area and 'soft' play area for younger children and a large grassed area for informal recreation. The site takes in a strip of land currently forming a private garden for 4 Church Terraces.

- 1.1.3 The supporting documents include a Design and Access Statement, and an Ecological Report, which explain the elements of the scheme, justification for design choices, and advice on mitigation for potential impacts on bats and birds.
- 1.1.4 The Statement explains the background to, and development of the proposals, and the objective of enhancing the facility for educational and community benefit. It outlines dialogue between the County Council, School Governors and the Memorial Hall Trustees, and how the option of extending the Memorial Hall and upgrading the area around it has been chosen to provide all the facilities required by the school for teaching and recreation purposes. It highlights a number of short comings with the existing school, including available space to expand, the need to exit the building and use a public footpath to access the hard surfaced play area adjacent to the Memorial Hall, and the use of the Hall itself for dining, PE and other activities.

## 1.2 Description of site and surroundings

- 1.2.1 The proposed building would be located on the west (rear) side of the Memorial Hall, on land presently covered in hardcore, and a strip of grassed land behind a stone wall at the rear of buildings attached to Ysgol Dyffryn Ial, which has been in use as a private garden. The 'new' site boundary in this area would abut land to the rear of the School which is in use as a private garden connected to properties at Church Terrace.
- 1.2.2 This area at the rear of the Memorial Hall has been used for some time for public recreational use and contains an agricultural style portal frame building open on one side which is used as a covered play area by children and for local events, a grassed area to the south forming a small football pitch, and an equipped children's play area.
- 1.2.3 There are private houses to the north of the site at Church Terrace and Mill Farm, and on the eastern boundary of the grassed section of the playing field, which front Village Hill.
- 1.2.4 There is also a hard surfaced playground to the immediate north of the Memorial Hall, alongside the main road. This area is used by the School as a play area.
- 1.2.5 The Memorial Hall is used as a general purpose facility for the village, and doubles up as a dining room/kitchen for Ysgol Dyffryn Ial.

## 1.3 Relevant planning constraints/considerations

- 1.3.1 The majority of the land at the rear of the Memorial Hall, currently occupied by the portal framed building, the equipped play area and playing field is designated as a RET 1 area in the proposals map for Llandegla in the Unitary Plan. RET 1 seeks to protect existing open space.
- 1.3.2 The REC 1 area is actually outside the development boundary of Llandegla village, which is drawn along the eastern and northern boundaries of the application site. (See plan at front of report).

- 1.3.3 The proposed new Community building itself would be located on land partly within the village development boundary but mainly outside it. The proposed hard surfaced play area/parking area would be outside the development boundary.

**1.4 Relevant planning history**

- 1.4.1 The section's records show the applications for the previous extension to the Memorial Hall, granted in 1989, the shelter granted in 1989, and the playground granted in 2001.

**1.5 Developments/changes since the original submission**

- 1.5.1 None.

**1.6 Other relevant background information**

- 1.6.1 None.

**2. DETAILS OF PLANNING HISTORY:**

2.1 27/10,276

Extension to Memorial Hall – GRANTED – 16/06/1989

27/123/97

Erection of replacement field shelter – GRANTED 04/09/1997

**3. RELEVANT POLICIES AND GUIDANCE:**

The main planning policies and guidance are considered to be:

3.1 DENBIGHSHIRE UNITARY DEVELOPMENT PLAN (adopted 3<sup>rd</sup> July 2002)

STRAT 16 – Community Facilities and Benefit

Policy GEN 1 – Development within development boundaries

Policy GEN 3 – Development outside development boundaries

Policy GEN 6 – Development Control requirements

Policy CON 6 – The setting of listed buildings

Policy REC 4 – Recreation facilities within development boundaries

Policy CF1 – Community Facilities – General

Policy TRA 6 – Impact on new development on traffic flows

Policy TRA 9 – Parking and Servicing provision

Policy ENV 6 – Species protection

Policy ENV 7 – Landscape/townscape features

3.2 Supplementary Planning Guidance

SPG 8 – Access for All

3.3 WELSH GOVERNMENT

Planning Policy Wales Edition 4 2011

Technical Advice Notes

TAN 12 – Design

TAN 22 – Sustainable Buildings

**4. MAIN PLANNING CONSIDERATIONS:**

4.1 The main land use planning issues are considered to be:

4.1.1 Principle

4.1.2 Visual amenity

4.1.3 Residential amenity



- 4.1.4 Impact on listed building
- 4.1.5 Highways/parking
- 4.1.6 Ecology
- 4.1.7 Development on a protected recreation area
- 4.1.8 Design and access/sustainability/inclusive design

#### 4.2 In relation to the main planning considerations:

##### 4.2.1 Principle

The main Unitary Development Plan Policies relevant to the principle of the development are STRAT 16, GEN 1, GEN 3 and CF1. STRAT 16 states that a full range of educational, cultural, sport and community facilities will be maintained, enhanced and provided in the County. GEN 1 seeks to locate new development within development boundaries. GEN 3 relates to development outside development boundaries and does not permit this other than with exceptions such as essential workers dwellings, infill etc. (subject to other policies in the Plan), and with relevance to the application, in test (vi), development in connection with leisure and recreation and existing educational/institutional establishments, provided there is no unacceptable impact on the social, natural and built environment. CF1 permits new and improved Community Facilities provided they are located to serve the local population, accessible to non car users, and within development boundaries.

The proposed all purpose building would be located partly within but mainly outside the development boundary of Llandegla village, immediately adjacent to the Memorial Hall and Ysgol Dyffryn Ial, serving both premises as a significant modern community facility. In officers' opinion, the development would be consistent with the principles of the planning policies referred to above as they are clearly related to, and an important upgrade of existing education and community uses in the village.

##### 4.2.2 Visual amenity

Considerations relating to the visual amenity impacts of development are contained in Policy GEN 6 of the Unitary Plan. Tests i-iv require due regard to issues of scale, design, form, siting, density and intensity of use, impact on a locality, public views into, out of or across a settlement and whether development takes account of site contours/levels and avoids prominent skylines.

The proposal involves a new single storey building at the rear of the Memorial Hall and nearby houses. The building would be relatively low profile in relation to the tall Hall building itself, being single storey and marginally higher than the portal frame shelter building it would abut on the western side. The design would feature a range of external materials and a profiled sheet roof with ventilation louvers. There are comments on the use of materials and proposed fencing/walling details from the AONB Committee, and concerns over the design from a private individual.

Having regard to the details of the scheme and the representations, officers are of the opinion that a building of modern design with imaginative use of external materials, and colours is likely to add positively to, rather than conflict with the character of the area at the back of the Memorial Hall. The land is presently in poor condition and there are a mix of styles of buildings, boundary walls and fences evident. It is suggested that some control is necessary over the roof material to ensure the colour respects the nearby listed buildings at the School, and the Memorial Hall itself. Whilst noting the AONB Committee's suggestion that the new northern boundary of the site should be replaced by a stone wall in place of the existing wooden fence, this is not a Conservation Area, and the boundary would not be visible from any

public vantage points. Nonetheless, it is suggested that as the boundary needs replacing with a higher screen to ensure an appropriate degree of privacy for users of the adjacent gardens, the detailing should be reserved for further approval to ensure an appropriate quality of development.

#### 4.2.3 Residential amenity

Policy GEN 6 (v) sets a requirement to assess the impact of development on the amenities of occupiers of nearby property.

The proposed all purpose building would be sited to the west of the Memorial Hall, with its rear wall some 4 metres from the 'new' northern boundary of the site, which runs along an existing private garden area used in connection with dwellings at Church Terrace. The plans show the area between the building and the boundary would be used for in part as a covered external teaching area, a patio, and small soft surfaced play area for younger children. The main external play area for older children would be located to the front of the building and could double up as a parking area when required. There are concerns from a neighbour over potential loss of privacy and enjoyment of the garden area as a result of the proposals.

Officers consider there is a residential amenity issue to address here, as the proposals would bring about a concentration of activity close to the boundary with the abovementioned private garden, i.e. outdoor lessons and a soft play area for smaller children. Potential mitigation in the form of a higher and more substantial boundary fence would limit impacts such as overlooking, and officers understand the applicants are negotiating a suitable detailing to the satisfaction of the concerned party. To balance the considerations it is to be noted that the land at the rear of the Memorial Hall is part of a larger area which has been in informal community/recreational use for some time. There is also an existing playground used in connection with Ysgol Dyffryn Ial immediately to the east of the private garden, so there is already a level of activity associated with the school in this area. As noted in 4.2.2 it is suggested in the event of permission being granted that the detailing of boundary fences, etc., be reserved for further approved to ensure the privacy and amenity of the neighbours is properly considered.

#### 4.2.4 Impact on listed buildings

Policy CON 1 seeks to ensure proposals preserve the setting of listed buildings, particularly where that setting is an essential part of the character of the listed buildings.

The proposed building would be sited some 20 metres to the south of the School and School House, which are Grade 2 listed buildings. There are private gardens between the listed buildings and the site boundary. The character of development in this area to the rear of the School and Memorial Hall is mixed, with a number of timber fences, sheds, a lean to rendered extension at the back of the Hall, and the green sheeted/blockwork walled shelter along the western boundary of the application site.

In the context of built development in the locality, officers would not consider the proposals likely to have an unacceptable impact on the setting of the School and School House. The main 'public' views of the listed buildings are from the road running through the village as it turns a 90° bend opposite the Church to the north, and this relationship appears to be integral to the setting. Land to the rear is already subdivided into different ownerships and with a mix of sheds and fences, and contributes little if anything to the setting of the listed buildings. It is suggested the proposed building would not compromise

the setting of the School or School House.

#### 4.2.5 Highways/parking

Policies TSM 6 and TSM 9 of the Unitary Plan permit new development subject to there being no unacceptable impact on the safe and free flow of traffic and adequate capacity on the highway network; and to satisfactory parking and servicing. GEN 6 contains tests requiring no adverse impacts on the highway network and safe and convenient access for a range of users.

The existing Memorial Hall and School have no 'dedicated' parking area for users/staff. There is a public car park immediately to the east of the Memorial Hall, at the entrance to the Ffynnon Tegla estate, and evidence of on street parking all along the main street running south east from the Church. There is an existing access to the rear of the Memorial Hall and the proposals show an intention to allow use of new the hard surfaced play area to the south of the new building, for parking if necessary. The Highways Officers raise no objections to the proposals. The Community Council's question over community use of the play area 'parking' option outside term time is one properly directed to the scheme's Managers.

Whilst it is not considered the absence of permanent on site parking spaces merits a negative recommendation here, Officers do suggest it necessary to recognise that the further development of an important community facility will result in additional pressures for parking within the car park close to the Community Hall, and along the roads close to the site, dependent on what events are being staged. There are likely to be times when the area around the Hall would become congested with vehicles and there will be some onus on the Management of the facility to monitor developments and to open the play area for parking at appropriate times.

#### 4.2.6 Ecology

Policy ENV 6 of the Unitary Plan looks to ensure that development does not harm protected species, which supports general guidance from Welsh Government and national legislation.

The application is accompanied by an Ecological Habitat Survey and Report which identifies potential access points and features suitable for bats within the Memorial Hall building, but concludes the proposals are unlikely to present a disturbance risk. The report recommends any site works be timed to avoid the bird breeding season.

As the proposals do not involve work on any existing buildings or natural features (other than the removal of a short length of stone wall), it is not considered there is any conflict with planning policy or legislation relating to protected species. Conditions/notes can be attached to alert the applicants to the need to avoid site works during the bird breeding season.

#### 4.2.7 Development on a protected recreation area

Part of the building and works around it are on land protected by Policy REC 1 of the Unitary Plan. REC 1 seeks to control the loss of existing open space, allowing this only where such space is retained and enhanced through the redevelopment of a small part of the site; where alternative provision is made; and where there would be an overall community gain from the development and the loss of open space will have no significant unacceptable effect on local open space provision of the amenity and character of the area.

Factually, the 'incursion' into the REC 1 area is limited to part of the proposed building and the proposed hard surfaced play area immediately to the south.

From observation, the land on which the building would be located is not in intensive recreational use, being an area of hardcore with weeds and grass growing through.

Officers would consider the proposals to be in accordance with the terms of REC 1 in this case. The scheme is clearly one which would bring about a community gain, and what 'loss' of the REC 1 area would be involved would be on land of limited current recreational value. The REC 1 area is in any event of a considerable size, and the proposals would not prejudice its value.

4.2.8 Design & Access/Sustainability Code/Access for All

TAN 12 Design and TAN 22 Sustainable Buildings include an obligation to demonstrate an acceptable approach to a range of design considerations, including how inclusive design and standards of environmental sustainability are to be achieved. These reflect general requirements in the Strategic Policies of the Unitary Plan to ensure sustainable development principles are embodied in schemes.

The Design and Access Statement makes reference to the design of the building making a positive contribution to CO<sup>2</sup> emission reduction, and to energy efficiency measures to be introduced. Additional information is being prepared to confirm the relevant Sustainability standard to be achieved, and details of the measures to ensure ease of access for persons with disability.

It is suggested that the proposals demonstrate a satisfactory basic approach to inclusive design and sustainability.

**5. SUMMARY AND CONCLUSIONS:**

- 5.1 The application proposes a combined community facility and primary school accommodation at the rear of the Community Hall in Llandegla. It involves a new building and upgrading of land forming part of a recreation area in the centre of the village.
- 5.2 The application has not generated significant local responses, but there are concerns raised over elements of the scheme which are addressed in the report. Officers recognise there are negative residential amenity and parking issues which need to be considered and balanced against the benefits of the scheme to the local community.
- 5.3 Overall it is suggested the proposals merit support, subject to conditions to secure mitigation against local impacts.

**RECOMMENDATION: GRANT-** subject to the following conditions:-

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
2. No development shall be permitted to take place on the external walls or roofs of the building hereby permitted, including the louvre/vents, until the written approval of the local planning authority has been obtained to the type, colour and finish of the materials to be used. The development shall take place strictly in accordance with the approved materials.
3. The detailing of the following shall not be as shown on the submitted plans, but shall be in accordance with such alternative details as may be submitted to and approved in writing by the Local Planning Authority prior to the commencement of work thereon:
  - a) The proposed boundary fencing/walls between the site and the gardens at the rear of the school, and at the side of No. 2 Bodawen.

b) The location of the proposed soft play area in the north west corner of the site.

The development shall be carried out strictly in accordance with the approved details.

4. The formal written approval of the Local Planning Authority shall be obtained to the proposed hard surfacing materials, the detailing of all fences/railings within the application site, and the roof louvres/vents prior to the commencement of work thereon. The development shall be carried out strictly in accordance with the approved details.

5. None of the stone arising from the demolition of the existing boundary wall shall be taken off the site, and this stone shall be reused within the scheme in accordance with such detail as may be submitted to and approved in writing by the Local Planning Authority.

6. The building shall not be brought into use until the playground/car park has been completed and is available for use.

7. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted, and obtained written approval from the local planning authority for, a remediation strategy detailing how this unsuspected contamination shall be dealt with. The remediation strategy shall be implemented as approved.

The reason(s) for the condition(s) is(are):-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. In the interests of visual and residential amenity.
3. In the interests of visual and residential amenity.
4. In the interests of visual and residential amenity.
5. In the interests of visual and residential amenity.
6. To ensure there is provision for the parking and turning of vehicles.
7. To ensure proper steps are taken to deal with any unexpected contamination.

#### **NOTES TO APPLICANT:**

Your attention is drawn to the response from Dwr Cymru/Welsh Water which sets out basic requirements in relation to the foul and surface water arrangements and to the diversion of the main sewer in connection with the developer.

Your attention is drawn to the attached Notes from the Council's Biodiversity Officer.

In relation to protected species matters, you are advised that if in implementing the permission and recommendations of the Ecological report, any statutory protected species are found within the boundaries of the application site, all works should cease immediately and the Countryside Council for Wales should be consulted for further advice before proceeding further.

Your attention is drawn to the attached Highway Supplementary Notes Nos. 1, 3, 4, 5 & 10.

Your attention is drawn to the attached Part N form (New Road and Street Works Act 1991).